

# Town of Windsor

## Memorandum

July 12, 2022

**TO:** The Honorable Mayor and Town Council

**FROM:** William G. Saunders, IV, Town Manager *WGS IV*

**SUBJECT:** Capital Projects Update

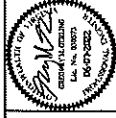
### **Duke Street & Virginia Avenue Water Main Replacement**

Most deeds of easement have been acquired, as of this writing, only 1 is outstanding. We are working with the engineers on the necessary documents to put it out to bid.

### **Windsor Library Expansion**

Following requests for the improvement and/or enlargement of the Library facility in Windsor, Isle of Wight County has programmed funding for an expansion of the library into their Capital Improvement Plan. The proposed expansion will be an addition to the north side of the existing building of approximately 1,800 sq. ft. on the ground floor, with a meeting and storage room above. The project is expected to go out to bid soon. (Find plan sheets enclosed).

For your information



DATE	DESCRIPTION
06/07/2022	JK
	MC
	MS
	20-332

11111 Main Street, Suite 200  
 Virginia Beach, VA 23462  
 Phone: (757) 482-2000  
 Fax: (757) 482-2000

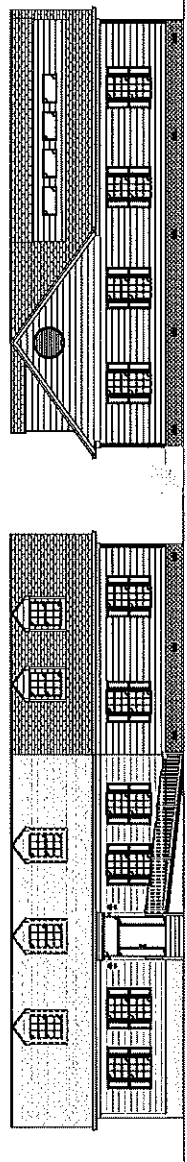
18 DUKE STREET WINDSOR, VIRGINIA 23462  
**WINDSOR LIBRARY**  
 NEW EXPANSION FOR

**M**PHERSON DESIGN GROUP  
**STRUCTURAL ENGINEERS**

TITLE SHEET

T001

NEW EXPANSION FOR  
**WINDSOR LIBRARY**  
 18 DUKE STREET WINDSOR, VIRGINIA 23462



**SHEET INDEX:**

- T001 - TITLE SHEET
- C011 - SITE PLAN
  - S001 - GENERAL NOTES
  - S002 - TYPICAL WALLS
  - S003 - TYPICAL CEILING
  - S004 - TYPICAL DETAILS
  - S005 - SHEAR WALL LAYOUT PLAN
  - S006 - FLOOR PLAN - EXISTING
  - S007 - FLOOR PLAN - PROPOSED
  - S008 - PARTIAL SECOND FLOOR FRAMING PLAN
  - S009 - PARTIAL ROOF FRAMING PLAN
  - S010 - SECTIONS
  - S021 - BUILDING CORE SUMMARY
  - S022 - FIRST FLOOR PLAN - EXISTING
  - S023 - FIRST FLOOR REFLECTED CEILING PLAN
  - S024 - SECOND FLOOR PLAN
  - S025 - ROOF PLAN
  - S026 - ENLARGED RESTROOM PLAN AND DETAILS
  - S027 - ELEVATIONS
  - S028 - INTERIOR ELEVATIONS
  - S029 - SECTIONS AND DETAILS
  - S030 - FINISH TYPES
  - P001 - NOTES, SCHEDULES, REEFER DIAGRAMS & DETAILS
  - P002 - PLUMBING FLOOR PLAN EXISTING AND LEGEND
  - P003 - PLUMBING FLOOR PLAN NEW WORK AND AREAS
  - P004 - PLUMBING SCHEDULES
  - M001 - NOTES, SCHEDULES AND DETAILS
  - M002 - MECHANICAL FLOOR PLANS NEW WORK AND DETAILS
  - M003 - MECHANICAL SCHEDULES
  - E001 - NOTES, LEGEND, ABBREVIATIONS AND SCHEDULE
  - E002 - FLOOR PLAN - EXISTING LIGHTING AND SCHEDULE
  - E003 - FLOOR PLAN - PROPOSED LIGHTING AND SCHEDULE
  - E004 - ELECTRICAL FLOOR PLANS - NEW WORK - LIGHTING
  - E005 - ELECTRICAL FLOOR PLANS - NEW WORK - POWER
  - E006 - ELECTRICAL FLOOR PLANS - NEW WORK - SPECIAL SYSTEMS
  - E007 - REEFER DIAGRAM AND PANELBOARD SCHEDULES
  - E008 - ELECTRICAL SPECIFICATIONS

**DESIGN TEAM:**

**ARCHITECTURAL/STRUCTURAL**  
 MPHERSON DESIGN GROUP  
 11111 Main Street, Suite 200  
 Virginia Beach, VA 23462  
 757-482-2000

**OWNER**  
 WILSON LAND SERVICES, LLC  
 15314 CARROLLTON BLVD, CARROLLTON, VA 23114  
 757-785-4882

**Mechanical/Electrical/Plumbing**  
 CHASIN, ENGINEERING, PLLC  
 2408 PRINCESS ANNE RD, SUITE 200, VIRGINIA BEACH, VA 23462  
 757-563-8627

**GENERAL PROJECT NOTES:**

1. ALL WORK TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES AND ORDINANCES.
2. CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION AND TO CONSULT WITH THE ARCHITECT REGARDING ANY DISCREPANCIES THAT EXIST WITHIN THESE DOCUMENTS.
3. ALL WORK PREPARED TO BE OF ACCEPTED INDUSTRY STANDARDS AND PRACTICES CONCERNING THE HIGHEST QUALITY OF WORKMANSHIP.
4. EACH SUB CONTRACTOR IS TO THOROUGHLY PERUSE THESE DOCUMENTS AND EVALUATE THE SCOPE OF WORK REQUIRED BY THEIR RESPECTIVE TRADE PRIOR TO THE START OF CONSTRUCTION.
5. ALL EXTERIOR WOOD BLOCKING AND ALL WOOD IN CONTACT WITH CONCRETE SLABS AND / OR MASONRY TO BE PRESURE TREATED.
6. DIMENSIONS SHOWN ARE TO FINISH FACE.
7. THE CONTRACTOR SHALL CORRECT AND VERIFY ALL DIMENSIONS & HEIGHTS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
8. ALL DECOR ITEMS AND FINISH SELECTIONS ARE OUTSIDE OF THIS DRAWING SCOPE - COORDINATE ALL FINISHES WITH OWNER.
9. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, ETC. ASSOCIATED WITH THE EXECUTION AND COMPLETION OF THE WORK.
10. ALL ADJUTING REGULAR MATERIALS ARE TO BE CALKED AND SEALED CONTIGUOUS. COLOR TO MATCH ADJACENT MATERIALS.
11. DETAILS SHOWN ARE REPRESENTATIVE OF DESIGN CONCEPT. DETAILS MAY BE MODIFIED TO AFFECT THE BASIC DESIGN AND STRUCTURAL INTENT IS TO BE MAINTAINED.
12. PROVIDE BLOCKING IN PARTITIONS AS REQUIRED FOR MOUNTING OF CABINETS, SHELVING, CUBBIES, ETC.
13. PROVIDE MOISTURE RESISTANT OPTIMUM WALL BOARD AT ALL WET WALL LOCATIONS.
14. ALL EXTERIOR LAMINATE AND MATERIALS AND CLADDING SHALL COMPLY WITH PD15 OR, EQUIVALENTS MUST BE 3/4" MINIMUM WITH 4" MAX CLEAR FROST SPACING, WITH REEFER 6 1/4" MAXIMUM, OVER TRACES IF MINIMUM.
15. ALL FINISHES TO BE OWNER FURNISHED. CONTRACTOR INSTALLED UNLESS OTHERWISE NOTED.
16. CONTRACTOR TO PROVIDE RECOMMENDATIONS TO ACCOMMODATE APPLIANCE LOCATIONS AS NOTED.
17. FLOOR LEVELS SHOWN ARE TO TOP OF FINISH FLOOR UNLESS OTHERWISE NOTED.
18. ALL WINDERS, CURBS, TIES, ETC. SHALL BE BY SUBCONTRACTOR AND COATED WITH ZINC/RICH. PROVIDE COMPATIBLE FASTENERS WITH EQUAL OR GREATER CORROSION RESISTANCE.
19. CONTRACTOR TO VERIFY ALL CONSTRUCTION IS INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS (AS APPLICABLE) AND INSTALLED IN SUCH A MANNER TO MEET ALL APPLICABLE BUILDING CODES.
20. CONTRACTOR SHALL ENSURE THAT ALL BUILDING COMPONENTS, INCLUDING BUT NOT LIMITED TO CLADDING, WINDOWS, DOORS AND ROOF COVERING COMPLY WITH THE WIND LOAD REQUIREMENT SPECIFIED IN THE APPLICABLE CODES. CONTRACTOR SHALL VERIFY THAT ALL BUILDING COMPONENTS, AS INSTALLED, HAVE A WP RATING SUFFICIENT TO MEET SUCH WIND LOADS AS CERTIFIED IN WRITING BY THE MANUFACTURER OF EACH SUCH COMPONENT.
21. CONTRACTOR TO PROVIDE SOUND BARRIERS IN ALL NEW FLOOR/CEILING LOCATIONS AND ALL NEW INTERIOR WALLS SURROUNDING OFFICE AND RECEPTION AREAS AS NOTED.
22. CONTRACTOR TO PROVIDE TAMPED SAFETY CLADDING IN ACCORDANCE WITH SECTION 0300.
23. CONTRACTOR TO PROVIDE EGRESS DOORS AND/OR WINDOWS AS INDICATED ON PLANS (O AND AS REQUIRED BY BUILDING CODE SECTION R101 FROM ALL SLEEPING AREAS).
24. CEILING HEIGHTS SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY WITH OWNER/ARCHITECT PRIOR TO ADOPTING NEW CONSTRUCTION WITH EXISTING UNLESS OTHERWISE NOTED.
25. DO NOT NAIL OR SCREW INTO ANY EXISTING STRUCTURE UNLESS OTHERWISE NOTED.
26. BACK CHARGES FOR CHANGE ORDERS, CORRECTIVE WORK OR REPLACED MATERIALS WILL NOT BE ACCEPTED UNLESS EXPRESSLY AUTHORIZED IN WRITING BY THE ARCHITECT BEFORE ANY SUCH COSTS ARE INCURRED.
27. PROVIDE POSITIVE SLOPE ON ALL EXTERIOR CONCRETE/HARDWARE WORK AS REQUIRED TO ALLOW DRAINAGE AWAY FROM BUILDING - TYPICAL.
28. CONTRACTOR TO VERIFY EXISTING CRANE AT NEW WORK - SLOPE ALL CRANES AWAY FROM NEW CONSTRUCTION AS REQUIRED FOR POSITIVE DRAINAGE.
29. EXISTENTIAL FINISHES, SCHEDULES, SYSTEMS OR ARCHITECTURAL FINISHES ARE FOR GENERAL REFERENCE ONLY AND ARE SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR ACTUAL LOCATION/PLACEMENT/SELECTION OF ANY AND ALL STRUCTURAL ELEMENTS.
30. MINIMUM INSULATION VALUES SHALL BE R-19 IN NEW EXTERIOR WALLS, R-22 IN FLOOR SYSTEMS AND R-28 IN ATTIC/ROOF CONSTRUCTION.
31. THESE DRAWINGS WERE BASED ON INFORMATION AND LIMITED FIELD WORK BY THE DESIGN TEAM. FIELD VERIFICATION OF ALL DIMENSIONS, HEIGHTS, EXISTING, ETC. MUST BE PERFORMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
32. CONTRACTOR SHALL PROVIDE AND INSTALL ALL TEMPORARY SHORING/TEMPORARY CONSTRUCTION AS REQUIRED TO ACCOMMODATE NEW WORK.
33. DO NOT ALTER/REMOVE OR DISPLACE ANY EXISTING SYSTEMS WHICH WERE LOCATED IN THE AREA OF THE NEW CONSTRUCTION HAS BEEN REMOVED COMPLETELY. IF THE EXISTING SYSTEM IS IDENTIFIED, THE CONTRACTOR SHALL REMOVE THE SYSTEM COMPLETELY IN ACCORDANCE WITH THE STATE OF VIRGINIA SAFETY SYSTEM REGULATIONS AND BACKFILL AND COMPACT AS REQUIRED FOR NEW CONSTRUCTION.



DATE	06/01/2022
BY	MNW
CHK	MCS
DATE	06/01/2022
BY	MCS
CHK	MCS
DATE	06/01/2022
BY	MCS
CHK	MCS

PROJECT: NEW EXPANSION FOR WINDSOR LIBRARY  
 18 DIXIE STREET WINDSOR, VIRGINIA 22447  
 ARCHITECT: MCKERSON DESIGN GROUP  
 1700 MARKET STREET, SUITE 100, WINDSOR, VA 22447  
 PHONE: (703) 632-2000 FAX: (703) 632-2002

# WINDSOR LIBRARY NEW EXPANSION FOR

MCKERSON DESIGN GROUP  
 STRUCTURAL ENGINEERS

## FIRST FLOOR PLAN

A101

ROOM NUMBER	ROOM NAME	BASE FINISH	FLOOR FINISH	NORTH WALL FINISH	EAST WALL FINISH	SOUTH WALL FINISH	WEST WALL FINISH	CEILING FINISH	CROWN MOULDING	NOTES
101	LIBRARY	PT	CPT	PT	PT	PT	PT	PT	PT	
102	CHILDREN'S LIBRARY	PT	CPT	PT	PT	PT	PT	PT	PT	
103	EQUIP. ROOM	PT	LV	PT	PT	PT	PT	PT	PT	
104	RESTROOM	PT	LV	PT	PT	PT	PT	PT	PT	
105	RESTROOM	PT	LV	PT	PT	PT	PT	PT	PT	
106	RESTROOM	PT	LV	PT	PT	PT	PT	PT	PT	
107	LIBRARY ADDITION	WD	CPT	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	MO
108	RESTROOM	WD	CPT	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	MO
109	RESTROOM	WD	CPT	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	MO
110	RESTROOM	WD	CPT	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	MO
111	KITCHENETTE	WD	CPT	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	MO
112	STAIRS	WD	CPT	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	MO
201	MEETING ROOM	WD	CPT	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	CMB-1	MO
202	ATTN.									

**FINISH SCHEDULE**

BASE, NEW AND EXIST.:  
 WOOD - WD ; TO MATCH EXISTING  
 VINYL - VNTL ; TO MATCH EXISTING  
 WALLS EXIST. AND EXST. :  
 PAINTED - PT ; PAINT AND COLOR TBD  
 PAINTED GYPSUM WALL BOARD - GMB-1

FLOORING AREA:  
 LVT - LVT  
 CARPET - CPT

CEILING, NEW AND EXIST. :  
 PAINTED - PT ; PAINT AND COLOR TBD  
 PAINTED GYPSUM WALL BOARD - GMB-1

**MOULDING FINISH NOTES:**  
 MO - MO ; TO MATCH EXISTING  
 VNTL - VNTL ; TO MATCH EXISTING

**PLAN NOTES:**

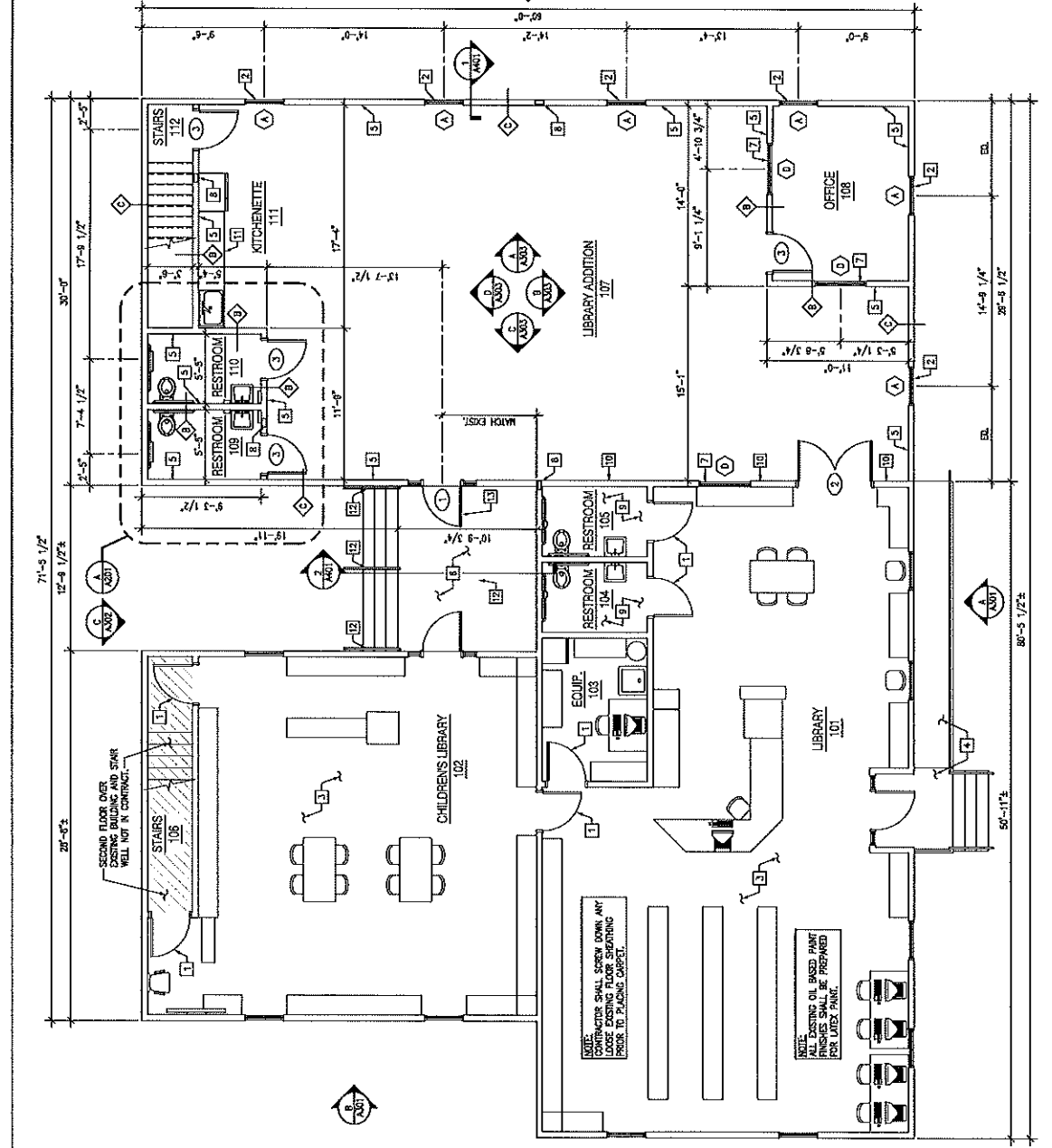
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL FURNISH ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.

**KEY NOTES:**

- PAINT BOTH SIDES OF EXISTING DOOR. OWNER SHALL SELECT COLOURS.
- NEW WINDOW SHALL MATCH SHAPE, SIZE, AND COLOUR AS EXISTING WINDOWS.
- REPLACE STAGED FURNITURE AFTER CARPET IS INSTALLED, COORDINATE FURNITURE LAYOUT WITH OWNER.
- EXISTING CONCRETE LANDING AND RAMP TO REMAIN.
- NEW WALL, REFER TO WALL TYPE DETAILS ON SHEET A501.
- NEW CONCRETE LANDING AND STAIR, REFER TO STRUCTURAL DRAWINGS.
- PROVIDE FIXED VIEWING WINDOW.
- STRUCTURAL COLUMN, REFER TO STRUCTURAL DRAWINGS.
- PROVIDE NEW VENT. FLOOR COVERING.
- INSTALL GYPSUM WALL BOARD TO EXISTING EXTERIOR WALL.
- PROVIDE COUNTERS WITH SINK. REFER TO ADA ACCESSIBLE SINK DETAIL ON SHEET A501.
- INSTALL NEW ADA HANDRAILS, FREE STANDING OR WALL MOUNTED.
- EXTERIOR DOOR WITH SUGGESTEDS TO MATCH EXISTING, PROVIDE PANG HARDWARE.

**NOTE:**  
 IF THIS DRAWING IS A REDUCTION, GRAPHIC SCALE MUST BE USED.

GRAPHIC SCALE:  
 1/4" = 1'-0"



**FIRST FLOOR PLAN**  
 1/4" = 1'-0"



DATE	DESCRIPTION
09/07/2022	JKK HCS HNS MCS 20-202

12000 Matthew C. Clark, License No. 12000  
 Virginia Board of Professional Engineers  
 Mechanical Engineering  
 18000 Westpark Drive, Suite 200  
 Fairfax, VA 22031  
 Phone (703) 552-1234  
 Fax (703) 552-1235  
 Email: matt@mcpherson.com

NEW EXPANSION FOR  
 WINDSOR LIBRARY  
 18 DUKE STREET WINDSOR, VIRGINIA 22187

McPHERSON DESIGN GROUP  
 STRUCTURAL ENGINEERS

SECOND FLOOR PLAN

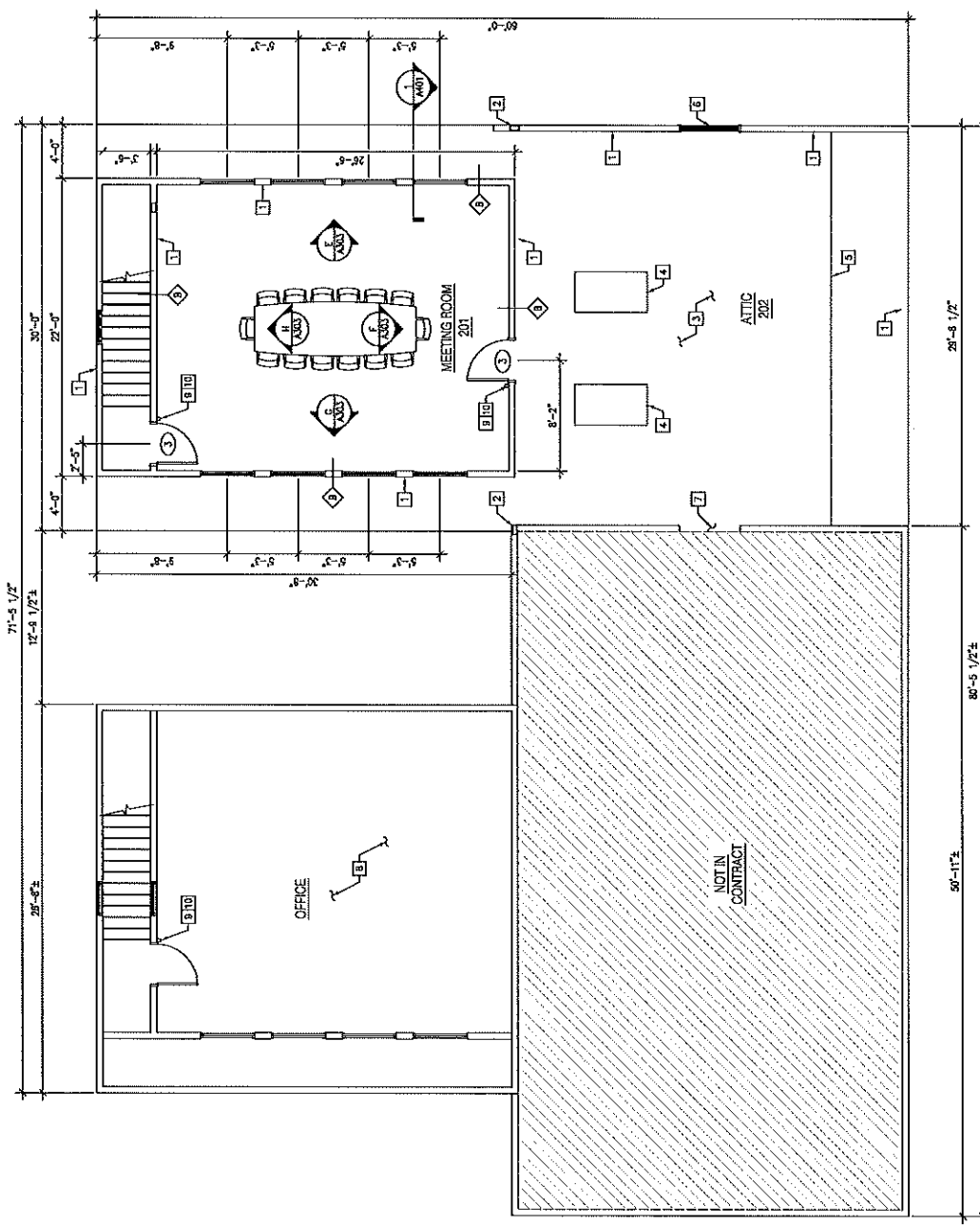
A103

**PLAN NOTES:**

1. EXISTING DIMENSIONS ARE TO FACE OF CUR/SOLID UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL FURNISH SCHEDULES WITH THE PROJECT AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ALL DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
3.  $\diamond$  DENOTES WALL TYPE. REFER TO WALL TYPE DETAILS ON SHEET AS01.
4.  $\odot$  DENOTES NEW DOOR. REFER TO AS01 FOR ADDITIONAL INFORMATION.
5.  $\otimes$  DENOTES NEW WINDOW. REFER TO AS01 FOR ADDITIONAL INFORMATION.
6. CONTRACTOR SHALL PAINT ALL WALLS. REFER TO FINISH SCHEDULE ON SHEET AS01.

**KEY NOTES:**

- 1] NEW WALL. REFER TO WALL TYPE DETAILS ON SHEET AS01.
- 2] STRUCTURAL COLUMN. REFER TO STRUCTURAL DRAWINGS.
- 3] PROVIDE 3/4" FLYWOOD FLOORING FOR RTU ACCESS.
- 4] FINI, REFER TO MECHANICAL DRAWINGS FOR EXACT SIZE AND LOCATION.
- 5] LIMITS OF FLYWOOD FLOORING.
- 6] ATTIC VENT, MATCH EXISTING.
- 7] REMOVE EXISTING ATTIC VENT, LEAVE OPENING FOR AIR FLOW.
- 8] NO WORK OTHER THAN FIRE PROTECTION ALARMS AND SYSTEM.
- 9] FIRE ALARM SYSTEM MANUAL PULL STATION.
- 10] FIRE ALARM SYSTEM AUDIO AND VISUAL ALARM.



NOTE:  
 IF THIS DRAWING IS A REDUCTION, GRAPHIC SCALE  
 MUST BE USED.  
 GRAPHIC SCALE:  
 1/4" = 1'-0"

SECOND FLOOR PLAN  
 1/4" = 1'-0"



